



THE GROVE AT GARRETT FARM
LANDSCAPE COVENANT
FEBRUARY 2019

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VISION AND PRINCIPLES



LANDSCAPE VISION

The Grove at Garrett Farm is envisioned as an inviting and healthy community whose overall aesthetic is rooted in the area's naturalistic and agrarian aesthetic. This Landscape Covenant is intended to ensure a cohesive and visually appealing community through the use of complementary materials and consistent design principles.

Public Realm

Native plants, and meadows form the backbone of a public landscape that creates a distinct sense of place and connects people to nature. Large shade trees and native ornamental trees line the roadways in an organic pattern and provide a sense of scale along the thoroughfares. Environmentally friendly concepts such as rain gardens set a precedent for the community's ideology. Open lawns are placed strategically within the neighborhood to support programming and reduce maintenance requirements, while amenities such as the lake, trail network, the community garden encourage a healthy lifestyle.

Private Realm

The landscape of individual lots further enhances the community's natural appeal. The Landscape Covenant establishes clear standards to assist builders and home owners in creating a landscape that is compatible with their neighbors and the overall community. A diverse plant palette focusing on native and adaptive species will ensure a consistent aesthetic, while the overall requirements for homeowners is kept general to accommodate flexibility and creativity.

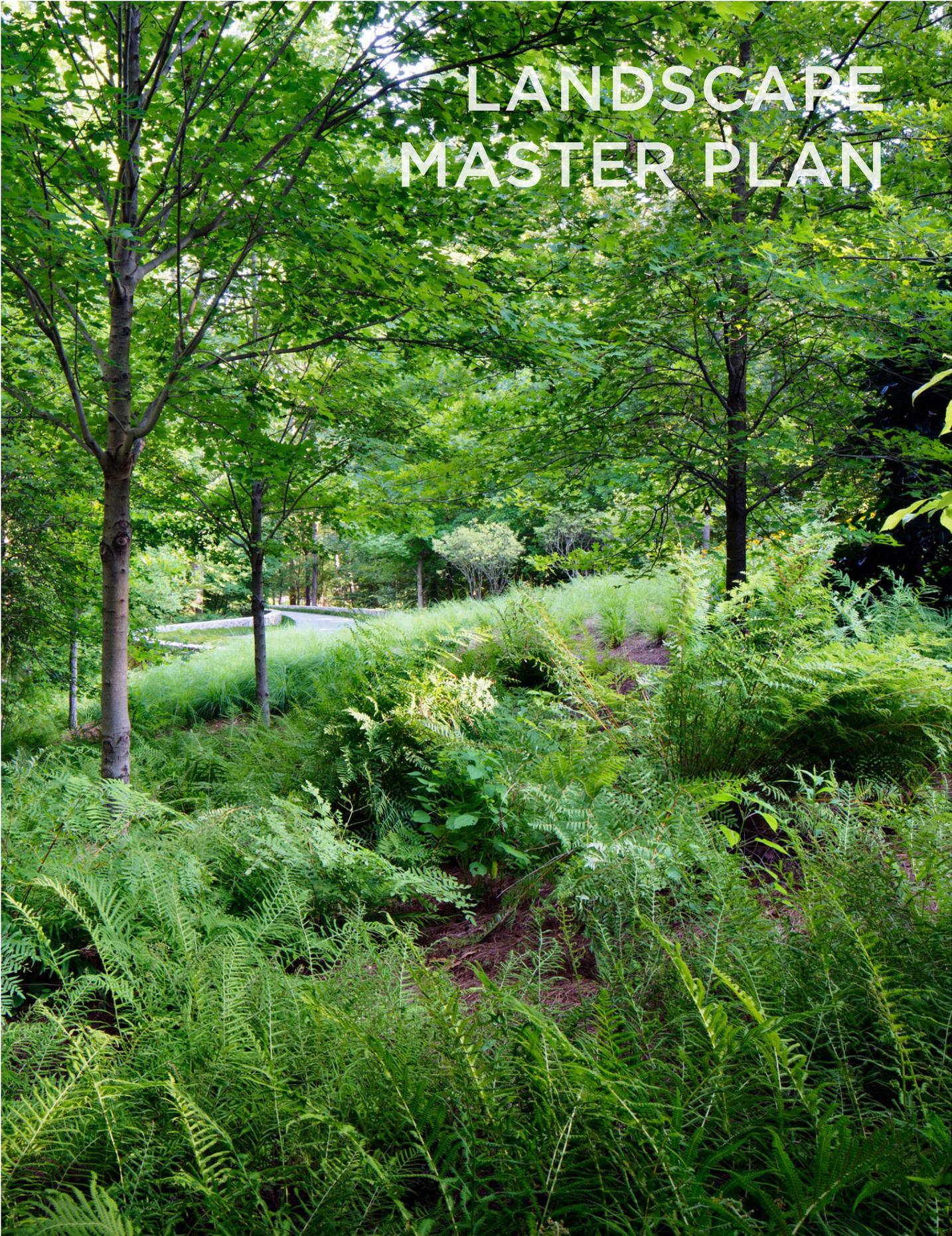
LANDSCAPE PRINCIPLES

Consistency in the planting concepts and species throughout the community is essential to establishing the desired character. Native and adapted plantings are strongly encouraged at The Grove at Garrett Farm. Not only do these plants have a certain character, but they also generally require less maintenance, irrigation, and fertilizing. Native plants communities also help create healthy wildlife habitat.

Street trees are critical one of the most critical components of creating the desired aesthetic within the community. While some street trees have been planted within the R.O.W., additional trees on lots are required by the Landscape Covenant. Trees planted by homeowners should be as large as possible at the time of installation to create a greater visual impact, and the use of multiple species is encouraged.

As with the public spaces, homeowners are encouraged to utilize native plants in landscape beds and employ meadow grasses and sedges as a strategy to minimize traditional sodded lawns. These species require minimal maintenance and irrigation and are a great alternative in large open areas that are used infrequently. Native meadows can also provide seasonal interest through the incorporation of wildflowers. Active and passive lawn spaces are provided as community amenity spaces to further encourage this practice.

LANDSCAPE MASTER PLAN



MASTER PLAN SUMMARY

The Landscape Master Plan for The Grove at Garrett Farms is the visual guide for the Landscape Covenant. It illustrates the overall Landscape Vision and outlines the various amenity spaces in the community. Those spaces are described later in this the next section.

Most importantly for the homeowner, the Landscape Master Plan also establishes the required Supplemental Street Trees for each lot within the development. Additional information regarding these the Streetscape and Supplemental Street Trees is outlined in the next section.

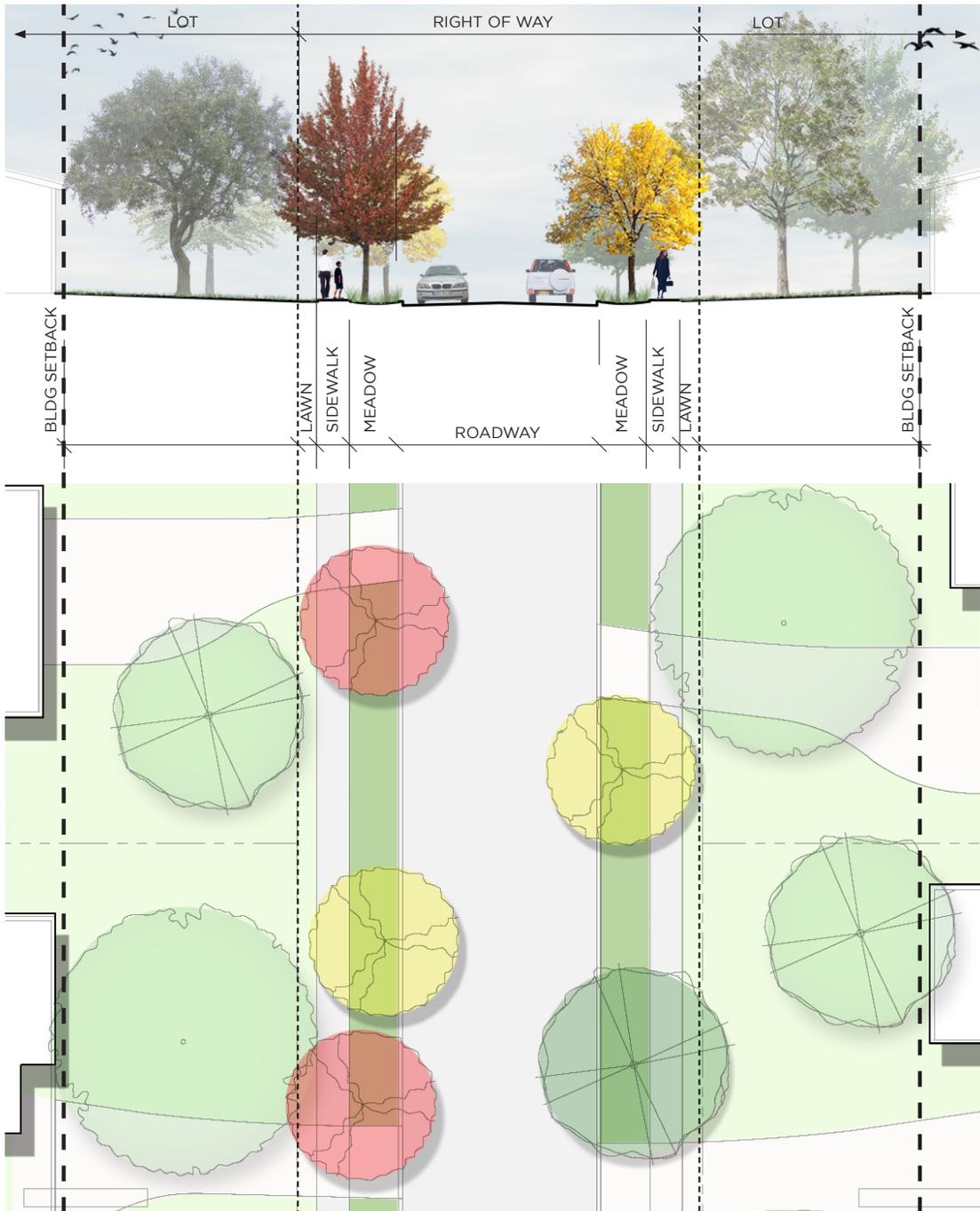
Enlargements of each lot are available upon request to assist homeowners in planning.



Landscape Master Plan

STREETSCAPE

The streetscape planting at The Grove at Garrett Farm reflects the idea of healthy, sustainable, naturalistic, environmentally friendly design. Sidewalks are located along both sides of the road to encourage pedestrian circulation throughout the neighborhood. The sidewalks are set approximately 6-feet from the back of the curb to maximize the buffer between people and cars. This buffer area is planted with native meadow grasses, as well as street trees of various size, shape, and species. The street trees are laid out in a somewhat organic pattern along the roadway to create a more naturalistic character. Supplemental street trees between the right-of-way and building setbacks further enhance the neighborhood aesthetic.



Typical Streetscape Concept

Existing Street Trees

Existing trees along the street ROW have been purposefully selected and placed during the construction of the roadways. All measures must be taken by the homeowners to preserve the health and visual appearance of these existing trees during all construction activities. Any trees damaged during construction shall be documented by the HOA or Architectural Review Committee, and it will be the responsibility of the homeowner to replace the tree with a specimen of equal size and species.

Tree Protection

The following steps shall be taken during construction to ensure existing trees are properly protected.

- Clearly identify trees to be preserved. Delineate a limit of disturbance line around them with temporary construction fencing (min. 6' ht.) around the drip line of the tree. Provide signs indicating "Tree protection area. Do not enter".
- The limit of disturbance line must be protected with fencing conspicuous and high enough to be seen by equipment operators. Temporary fencing must be installed far enough from the tree to prevent compaction and puddling over the root system and large enough to include the area within the drip line. No grading shall take place within the drip line of trees to be preserved. Sensitive root systems fall within this area and must be protected.
- No equipment storage or parking will be allowed within these preservation areas. Weed and debris removal within these areas must be done with hand tools.
- Fencing must be installed prior to any clearing or construction and must be maintained in good condition until construction is completed.
- It is the builder's responsibility to enforce these standards with all subcontractors and utility companies throughout the entire construction process. If any disturbance occurs to the protected trees/ vegetation it is the responsibility of the party at fault to replace the tree/ vegetation with one of equal or greater size, and similar quality material of the same variety.

Supplemental Street Trees

The Master Plan includes additional street trees on each lot between the Right-of-Way and Building Setback. Individual lots may contain up to three (3) supplemental street trees. These additional trees are in addition to the minimum landscape requirements outlined in the next section, and the lot owner will be responsible for planting these trees immediately upon completion of the home's construction.

Upon purchase of the lot, the owner will be provided with a plot plan that shows the rough location and quantity of the supplemental street trees located on their lot. The following guide is provided for homeowners to select the appropriate tree species based on their individual lot conditions.

If the individual lot contains:

- One (1) supplemental street tree - select one (1) *Type A* tree
- Two (2) supplemental street trees - select one (1) *Type A* tree and one (1) *Type B* tree
- Three (3) supplemental street trees - select one (1) *Type A* tree, one (1) *Type B* tree, and one (1) *Type C* tree

Type A

Live Oak - *Quercus virginiana*

Swamp Red Maple - *Acer rubrum var. drumundii*

Overcup Oak - *Quercus lyrata*

Type B

"Princeton" American Elm - *Ulmus americana* "Princeton"

American Sycamore - *Plantinus occidentalis*

Tulip Poplar - *Liriodendron tulipifera*

Type C

Ginkgo - *Ginkgo biloba*

Silverbell - *Halesia diptera*

Chinese Pistachio - *Pistachia chinensis*



Meadow grasses along roadway

AMENITY AREAS

Residents are encouraged to utilize the Amenity Areas within the neighborhood for recreational activities and community events. To ensure that all residents can enjoy the space safely and that the spaces do not become nuisances for the surrounding residents, the following guidelines should be followed.

Primary Amenity Area

The primary amenity area is located along Wallace Lake Road and Garret Farms Row. The area creates a pastoral first impression for residents and visitors while accommodating multiple activities.

Neighborhood Entry

The entrance to The Grove at Garrett Farm features a subdued pastoral scene. Large shade trees line Wallace Lake Road and provide views under their canopies. Low, lime-washed brick columns serve as a visual cue to the neighborhood, and a grove of additional shade trees in a native meadow borders the entry drive. A lime-washed brick guardshack is set back from the road and subdued under several mature trees. Meadow grasses and native shrubs make up the majority of the planting. Annual color is localized around the entry sign area.

Community Center & Pool

The Community Center building is primarily open air, with restroom facilities to accommodate the pool activities. A large covered porch and adjacent plaza looks out over the lake and may be used for various community events. The Pool is large enough to accommodate a moderate crowd during the summers.

Lake

The Lake is bordered by native aquatic plantings that help filter stormwater and give the element a more natural feel. Some areas of the shoreline are left unvegetated to accommodate fishing.

Amphitheater & Stage

The Amphitheater is composed of a large open lawn area with a few shallow lawn terraces near the Stage. A variety of activities are accommodated here, including neighborhood concerts and active recreation. A double allee' of trees helps define the area. Golf cart parking is provided.

Event Court

A smaller lawn area with a large gravel court is located adjacent to the roadway. It provides a more intimate event setting, and can accommodate food trucks or concession trailers for community events

Nature Trails

Asphalt nature trails weave through meadow grasses, wildflowers, and rain gardens to provide a serene experience and various fitness opportunities. The trails also connect the sidewalk network to the various amenities.

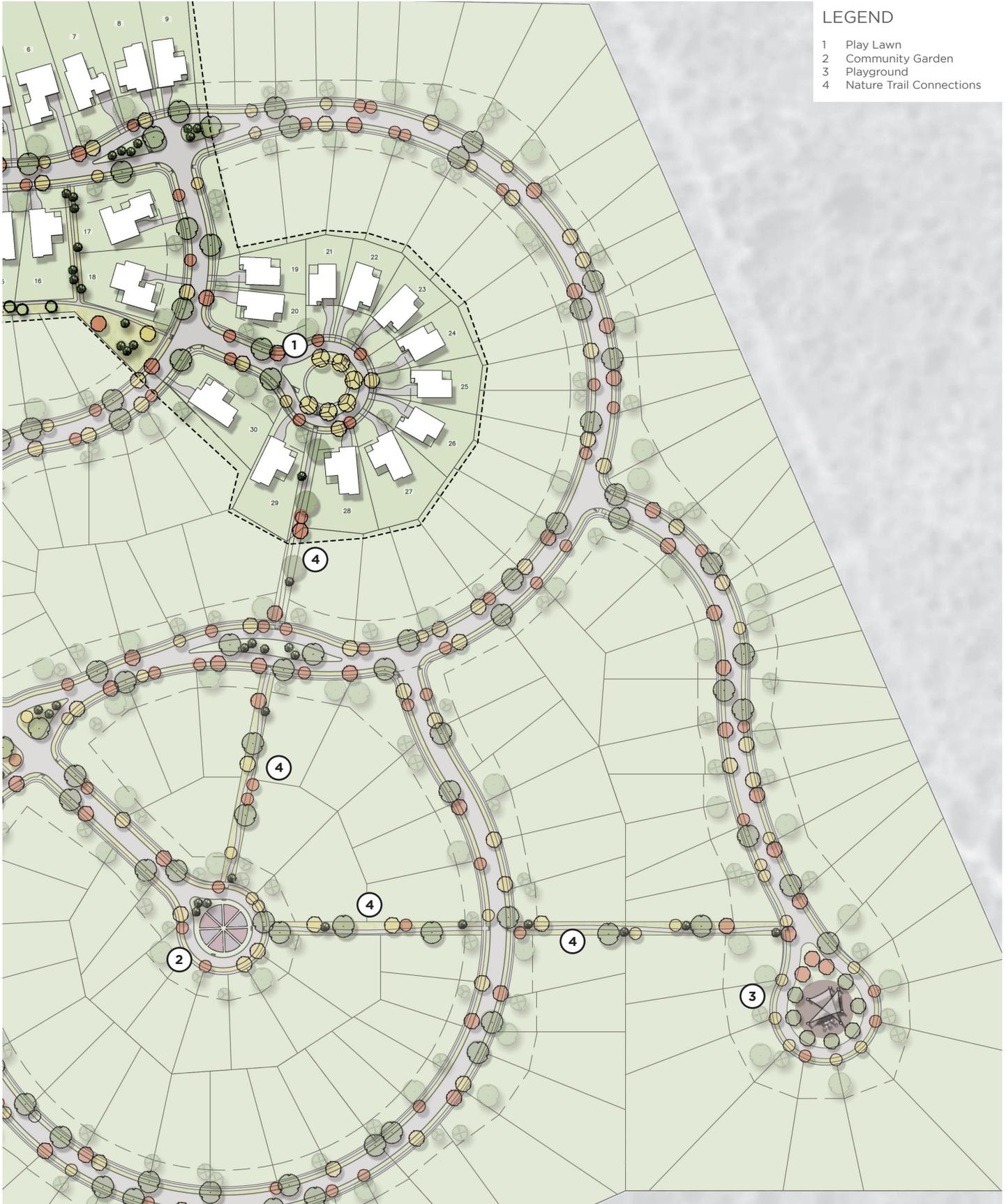


Lake Character Precedent



- LEGEND**
- 1 Neighborhood Entry
 - 2 Community Center & Pool
 - 3 Lake
 - 4 Amphitheater & Stage
 - 5 Event Court
 - 6 Nature Trails

Enlargement of Primary Amenity Areas (N.T.S.)



- LEGEND**
- 1 Play Lawn
 - 2 Community Garden
 - 3 Playground
 - 4 Nature Trail Connections

Enlargement of Additional Amenity Areas (N.T.S.)

Additional Amenity Areas

Several other amenity areas are located in the throughout the neighborhood to provide equal recreational opportunities to all residents. These areas are smaller and therefore more specifically programmed.

Play Lawn

This open lawn space located within a cul-de-sac is ideal for unstructured play, picnics, and other similar activities. Small shade trees line the perimeter to provide respite during summer days.

Community Garden

The Community Garden is a series of vegetable plots for use by the neighborhood residents. Plots are issued on a first-come, first-serve basis and require a small deposit to ensure necessary maintenance is performed. Each homeowner is responsible for the upkeep of their own plot, which includes weeding, amending, harvesting and replanting. If a plot is unkempt, the HOA shall issue a warning. If no action is taken by the homeowner, the deposit shall be used to renovate the plot for reuse and it shall be reissued to a new resident. Water is provided, and general maintenance of the area surrounding the garden shall be performed by the HOA. Users must supply their own tools and labor.

Playground

The playground is ideal for smaller children with adult supervision. It is fenced and shaded with a tensile structure and small shade trees.

Nature Trail Connections

Each of the additional amenity areas is connected by a nature trail running through a dedicated servitued. The servitude includes various shade and ornamental trees planted within native meadow grasses.

Amenity Area Maintenance

Responsibility for maintenance and upkeep of all amenities shall be the responsibility of the HOA (excluding the aforementioned maintenance of the Community Garden plots).



Nature Trail Character Precedent

LANDSCAPE REQUIREMENTS



SUBMITTAL PROCEDURE

All landscape plans must be submitted to the Architectural Review Committee for approval prior to any construction. The submittal process requires the home owner to have a stamped set of construction drawings prepared by a professional. The use of a licensed landscape architect is highly recommended.

The Architectural Review Committee will review the plans and to verify that they meet the minimum requirements outlined within the Covenant. Notes and suggestions will be provided if the plans do not meet the requirements. The homeowner will be able to make adjustments and resubmit their plans to the Architectural Review Committee until they meet the outlined requirements.

All plans should be submitted on 24"x36" sheets and include the following general information:

- Titleblock
- Landscape Architect | Landscape Designer | Contractor contact information
- Contractor or Landscape Architect stamp
- Lot information (lot number, boundary dimensions, area)
- Scale and North Arrow
- All plants clearly labeled with common and scientific names, container size, and height of material to be installed.

DESIGN APPROACH

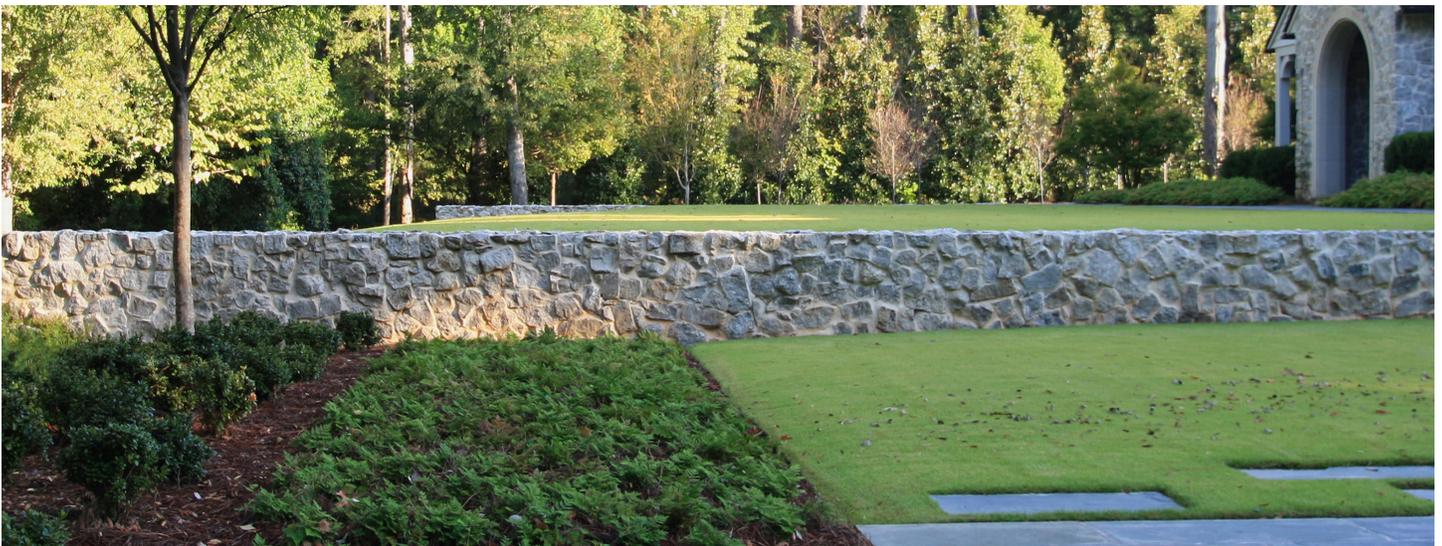
Planting designs in areas visible to the public shall fit within the overall community aesthetic. Landscape designs shall have a naturalistic appearance and shall not be overlay formal or ornate (i.e. topiaries, parterre gardens, etc.). Use of the plants listed in the Plant Palette section is highly encouraged, as they are pre-approved by the Architectural Review Committee. Single rows of plants shall be avoided, and a staggered double rows of plants shall be the minimal requirement for any planting bed.

Foundation Plantings

Foundation planting shall be composed of medium or small shrubs and groundcovers and is required along the entire front facade of the home. This type of planting helps anchor the building to the site and helps hide unattractive details at the base of the building.

Framing the facade

The facade of the home should be framed using taller shrubs to punctuate corners, with smaller height shrubs across the facade.



Landscape Character Precedent

Plant massing

Trees, shrubs, and ground covers should be planted in staggered masses when possible. The effect is that many plants of the same species create a singular element, or form which both simplifies the appearance, and adds visual appeal. Plants should be spaced at 75% of their anticipated mature size.

Screening

Screening is a an approach to hide unsightly views, or create privacy. The homeowner is encouraged to screen off any mechanical or utility equipment boxes with evergreen foliage. Minimum screening requirements are listed wtihin this section.

Minimizing lawn

It is recommended that the homeowner increases the amount of shrubs, groundcovers, or lawn alternatives beyond the minimum requirements. It is recommended that the homeowner only use lawn in areas that will receive full sun, and to use shrubs and ground covers along the facade, under trees, and into the main area of the lawn.

Landscaping Servitude

The surface of any servitude area for underground utilities may be used for landscaping, provided, however, that neither the developer or supplier of any utility or service using the servitude area, shall be liable to any lot owner for damage done by them to any landscaping located on such servitudes as a result of any activity relating to the construction, maintenance, operation or repair of utility or service facility in the servitude area.

Grading and Drainage

No lot owner shall adjust any natural drainage onto or off of their lot in a way that affects adjacent lots or common areas. No drainage shall be altered to drain onto an adjacent lot. The use of surface drains (ie. open swales or rain gardens) is encouraged. Each lot shall minimize the amount of stormwater run-off from their property through on-site detention methods such as rain gardens, rain barrels, or similar features.



Landscape Character Precedent

DESIGN STANDARDS

Plant Standards

All plant material shall comply with American Standard for Nursery Stock standards for container size, caliper, height and spread.

Planting Heights

Shrub heights should be restricted to 4' in the front yard so as not to cover the facade, windows, wall lights, street number, mail box, etc. Homeowner may use taller plants along the property lines and for other screening purposes.

Trees

All large and medium trees shall be a minimum of 2" caliper measured at breast height at the time of installation. Multi-trunk trees are encouraged to have a minimum of 3 canes per tree, each trunk with a minimum 1" caliper at breast height at the time of installation.

Shrubs

All shrubs shall be a minimum of 3-gallon size and planted in masses of 3 or more. Consider mature shrub size when planting.

Groundcover

All groundcovers shall be a minimum of a 4" cup size.

Sod

All front and side yards shall be planted with 'Palisades' Zoysia sod. Rear yards may be sodded with other sod types at the homeowner's discretion. Front yards shall be sodded prior to occupancy, and the remainder of the lawn areas shall be installed within 30 days from the time of occupancy.

Planting soil

Planting soils shall be a uniform blend of local topsoil mixed with appropriate soil amendments to create a soil mixture ideal for healthy plant growth. Consultation with a local garden center or landscape contractor is recommended.

Mulch

Mulch shall be used on all bare soils to retain moisture, create a uniform appearance, and prevent weeds and erosion. All trees planted in lawn areas shall also include a mulch saucer at the base of the trunk at least 4' in diameter. Mulching against the trunks of the trees shall be avoided. All areas of the landscape which are not considered lawn shall be mulched with a minimum 3" thick layer of natural pine straw or shredded hardwood mulch. Artificially colored mulches or synthetic mulch products shall be prohibited.

Edging

All landscape beds shall be edged with steel or aluminum edging or a maintenance trench. Metal edging shall be black, brown, or tan.

Irrigation

All lawn and landscape beds shall be irrigated with a permanent, automatic irrigation system. The use of traditional spray heads or drip irrigation shall be permitted in bed areas. Spray heads shall be used in turf areas. The use of wather sensors (i.e. rain sensor, anemometer) is highly encouraged.

Water Features

In publically visible areas, water features or decorative fountains shall be prohibited unless approved by the Architectural Review Committee. Water features shall be allowed in rear yards.

Garden Ornaments

In publically visible areas, sculptures, statues, boulders, and other general lawn ornaments shall be prohibited unless approved by the Architectural Review Committee.

MINIMUM PLANTING REQUIREMENTS

General

The following requirements shall be completed within 30 days of occupancy of the residence, excluding the Front Yard requirements, which shall be completed prior to occupancy.

Front Yards

Front yards shall be defined as the area between the front facade of the home and the right-of-way. Front yards shall contain landscape beds that are greater than or equal to 20% of the home's ground level footprint (including garages and other connected structures).

The entire front facade of the building (excluding walkways or other access routes) shall include foundation planting with a minimum 5' bed depth, and this planting shall count toward the total front yard requirement. The remaining areas of the front yard shall be sodded with an approved turf grass or shall be plugged with a native meadow grass mix.

Annual or seasonal color plantings may be utilized in key areas but may not constitute more than 5% of the required front yard planting.

Additionally, all Supplemental Street Trees as identified by the Landscape Master Plan are required to be planted prior to occupancy.

Rear Yards

Rear yards shall be defined as the area between the rear facade of the home and the property line shared with a neighboring property or with a right-of-way. Rear yards shall contain landscape beds that are greater than or equal to 10% of the home's ground level footprint (including garages and other connected structures).

The entire rear facade of the building (excluding walkways or other access routes) shall include foundation planting with a minimum 5' bed depth, and this planting shall count toward the total rear yard requirement. The remaining areas of the rear yard shall be sodded with an approved turf grass or shall be plugged with a native meadow grass mix.

Alternatively, in lieu of the rear yard landscape bed requirement outlined above, a Privacy Screen as outlined under *Other Requirements* in this section, may be utilized along the rear property line and portions of the side property line enclosing the rear yard. If a Privacy Screen is installed, the rear yard shall, at a minimum, be sodded with an approved turf grass.

Rear yards shall also include either one (1) large or medium shade tree or two (2) ornamental trees. These trees shall be required regardless of the Privacy Screen alternative listed.

Side Yards

Side yards shall be defined as the area between the side facades of the home and the property line shared with a neighboring property or with a right-of-way.

Side yards shall require a Privacy Screen as outlined under *Other Requirements* in this section, and shall, at a minimum, be sodded with an approved turf grass. No additional landscape is required.

OTHER REQUIREMENTS

Privacy Screens

Privacy screens may be utilized along side and rear property lines to partially satisfy the minimum planting requirements. Privacy screens shall be made of wood (pressure treated pine, cedar) or large evergreen shrubs. If evergreen shrubs are utilized, a staggered double row of plants shall be required. The minimum height shall be six (6) feet.

Black vinyl coated chain link fence may be used to secure a property, but it must be screened by evergreen shrubs on the publically visible or the neighboring property's side.

All privacy screens shall be submitted to the Architectural Review Committee for approval prior to installation. Any fences shall include a typical graphic elevation view in the submittal.

Other Screens

Exterior equipment such as air conditioning units, gas or electrical meters, utility boxes, and pool equipment shall be visually screened from the street and other common spaces. Appropriate screening material as listed above shall be used.

Accessory Structures

Any accessory structures such as gazebos, pavilions, trellises, or storage buildings shall be shown on the drawings submitted to the Architectural Review Committee for approval. The structure height, location, architectural details, and proximity to the adjacent property lines shall be indicated. The structure shall fall within the property's approved building zone and shall not impede views to any common areas.

LIGHTING RESTRICTIONS

Lighting is an effective way to add interest and dimension to a site. In all cases, care should be taken to select and position lighting so that it does not impair or obstruct views of common space, nor infringe upon or disturb adjacent neighbors, pedestrians and motorists. Any lighting that can be viewed from common space shall not overpower existing lighting along the roadway, but rather build upon it. Lighting plans shall be submitted to the Architectural Review Committee for approval prior to installation, and they shall be prepared and stamped by a qualified engineer or contractor.

Architectural and Landscape Lighting

Each residence may have approved architectural lighting on the residence. Installed light poles are not permitted in the front of the residence. Accent landscape lighting shall be minimized and utilize low-voltage, direct-type lighting. Landscape lighting shall be as close to the ground as possible.

Path Lighting

Path lighting shall not overpower the existing roadway, and when possible, it shall be hidden within planting or hardscape so light source is not seen.

Security Lighting

Security lighting must not infringe upon, or disturb adjacent residents. Only recessed lighting or decorative lighting is allowed in the front of the dwelling with the exception of one security floodlight activated by motion only (i.e. no switch) adjacent to the garage on the front of the residence directed toward the driveway.

PLANT PALETTE

Large Trees

Fraxinus pennsylvanica
Ginkgo biloba
Liriodendron tulipifera
Magnolia grandiflora
Pinus taeda
Platanus occidentalis
Quercus acutissima
Quercus alba
Quercus falcata
Quercus lyrata
Quercus michauxii
Quercus Nuttallii
Quercus pagodifolia
Quercus shumardii
Quercus virginiana
Ulmus americana 'Princeton'

Green Ash
 Ginkgo
 Tulip popular
 Souther Magnolia
 Loblolly Pine
 American Sycamore
 Sawtooth Oak
 White Oak
 Red Oak
 Swamp Oak
 Overcup Oak
 Nuttall Oak
 Cherrybark Oak
 Shumard Oak
 Live Oak
 American Elm

Medium Trees

Acer rubrum var. Drummondii
Acer barbatum
Betula Nigra
Cornus florida
Firmiana simplex
Gordonia lasianthus
Halesia diptera
Ilex opaca
Magnolia virginiana
Nyssa sylvatica
Pistacia chinensis
Taxodium ascendens
Taxodium distichum

Swamp red Maple
 Southern Sugar Maple
 River Birch
 Flowering Dogwood
 Chinese Parasol Tree
 Loblolly Bay
 Silverbell
 American Holly
 Sweetbay Magnolia
 Black Gum
 Chinese Pistachio
 Pond Cypress
 Bald Cypress

Evergreen Shrubs

Ilex x 'Nellie R. Stevens'
Ilex vomitoria 'Nana'
Illicium floridanum
Jasminum mesnyi
Myrica cerifera
Mahonia fortunei
Malvaviscus arboreus
Prunus caroliniana
Pyracantha coccinea
Podocarpus macrophyllus
Rhododendron indicum
Rhododendron obtusum
Sabal minor
Viburnum japonicum
Viburnum odoratissimum

Nellie Stevens Holly
 Dwarf Yaupon
 Purple Anise
 Primrose Jasmine
 Wax Myrtle
 Leatherleaf Mahonia
 Turks Cap
 Cherry Laurel
 Scarlet Firethorn
 Japanese Yew
 Azalea
 Native Azalea
 Dwarf Palmetto
 Japanese Viburnum
 Sweet Viburnum

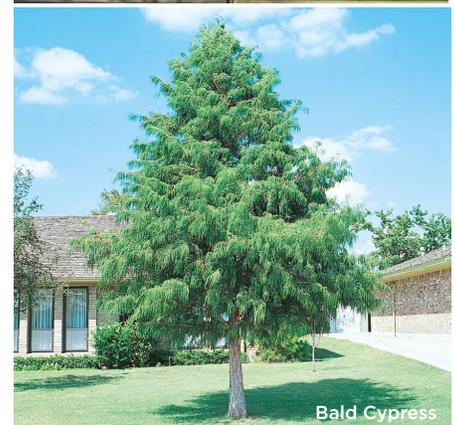
*This list provides recommendations of pre approved native/ non native plants That can be used. Other plants can be used with approval from the board.



Live Oak



Southern Sugar Maple



Bald Cypress



Turk's Cap



Dwarf Palmetto

PLANT PALETTE



Dwarf Virginia Sweetspire



Tardiva Hydrangea



Berkeley Sedge



Blue Arrows Juncus



Blue Grama Grass

Deciduous Shrubs

- | | |
|---------------------------------------|---------------------------|
| <i>Althea officinalis</i> | Althea |
| <i>Aesculus pavia</i> | Red Buckeye |
| <i>Callicarpa americana</i> | Beautyberry |
| <i>Calycanthis floridus</i> | Sweet Shrub |
| <i>Chaenomeles speciosa</i> | Flowering Quince |
| <i>Cyrilla racemiflora</i> | Titi Tree |
| <i>Hydrangea macrophylla</i> | Hydrangea |
| <i>Hydrangea quercifolia</i> | Oakleaf Hydrangea |
| <i>Hydrangea paniculata 'Tardiva'</i> | Panicle hydrangea |
| <i>Ilex decidua</i> | Possumhaw |
| <i>Indigofera kirilowii</i> | Indigo |
| <i>Itea virginica 'Little Henry'</i> | Dwarf Virginia Sweetspire |

Groundcovers

- | | |
|-------------------------------|---------------------|
| <i>Agapanthus</i> | Agapanthus |
| <i>Carex spp.</i> | Sedges |
| <i>Dryopteris erythrosora</i> | Autumn Fern |
| <i>Iris spp.</i> | Iris |
| <i>Ligularia tussilaginea</i> | Ligularia |
| <i>Liriope mucaris</i> | Liriope |
| <i>Moraea bicolor</i> | Yellow African Iris |
| <i>Moraea iridiodes</i> | African Iris |
| <i>Ophiopogon japonicus</i> | Monkey Grass |
| <i>Thelypteris kunthii</i> | Marsh Fern |

Aquatic

- | | |
|---------------------------------|---------------------|
| <i>Crinum pedunculatum</i> | Swamp lily |
| <i>Elocharis</i> | Spike Rush |
| <i>Helianthus angustifolius</i> | Swamp Sunflower |
| <i>Hibiscus coccineus</i> | Rose Mallow |
| <i>Hibiscus moscheutos</i> | Hibiscus |
| <i>Hydrolea ovata</i> | False Fiddleleaf |
| <i>Juncus effusus</i> | Juncus |
| <i>Pontederia cordata</i> | Picklerweed |
| <i>Saururus cernuus</i> | Lizards Tail |
| <i>Sagittaria latifolia</i> | Broadleaf Arrowhead |

Ornamental Grasses

- | | |
|--|--------------------|
| <i>Calamagrostis arundinacea 'Karl Foerster'</i> | Feather Reed Grass |
| <i>Muhlenbergia capillaris</i> | Coastal Muhly |
| <i>Panicum virgatum</i> | Switchgrass |
| <i>Pennisetum alopecuroides</i> | Cassian Grass |

Meadow Grasses

- | | |
|---|-----------------|
| <i>Andropogon gerardii</i> | Big Bluestem |
| <i>Andropogon virginicus</i> | Broomsedge |
| <i>Bouteloua curtipendula</i> | Side Oats Grama |
| <i>Bouteloua gracilis 'Blonde Ambition'</i> | Blue Grama |
| <i>Buchloe dactyloides</i> | Buffalo Grass |
| <i>Schizachyrium scoparium</i> | Little Bluestem |

*This list provides recommendations of pre approved native/ non native plants That can be used. Other plants can be used with approval from the board.

